

AKA LOT 24 BIG OAKS S/D UNREC: C
SEC, RUN S 1078.13 FT FOR POB, R
S 362.89 FT, W 1201.56 FT, N 362

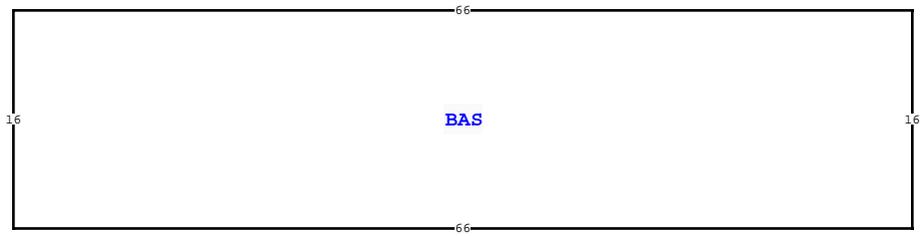
SANDALL WILLIAM A/SANDALL APRIL
262 SW GLIDER WAY
FT WHITE, FL 32038

2026

26-5S-16-03717-124

BUILDING CHARACTERISTICS		CONSTRUCTION	
ELEMENT	CD		
Exterior Wall	31	VINYL SID	100
Roof Structur	03	GABLE/HIP	100
Roof Cover	12	MODULAR MT	100
Interior Wall	05	DRYWALL	100
Interior Floor	14	CARPET	90
Interior Floor	08	SHT VINYL	10
Air Condition	03	CENTRAL	100
Heating Type	04	AIR DUCTED	100
Bedrooms		3	100
Bathrooms		2	100
Stories	1.	1.	100
Architectual	01	CONV	100
Units		0	100
Condition Adj	03	03	100
Kitchen Adjus	01	01	100
Quality	05	05	
DOR CODE	0200 MOBILE HOME		
MAP NUM		MKT AREA	02
NEIGHBORHOOD/LOC	26516.010 1.00/		
AREA TYPE	TOTAL GROSS AREA	PCT OF BASE	YEAR
BAS	1,056	100	
TOTALS	1,056		1,056

MARKET ADJUSTMENTS											
TYPE	MDL	EFF. AREA	TOT ADJ PTS	EFF. BASE RATE	REPL. COST NEW	AYB	EYB	ECON	FNCT	NORM	% COND
0201	02	1,056	115.9000	111.26	117,491	1996	1996	0	0	45.00	55.00
1 MANUF 1 100% - 2001 Heated Area: 1056 HX Base Yr 2001											



COLUMBIA COUNTY PROPERTY			
VALUATION SUMMARY			PAGE 1 of 1
VALUATION BY		STANDARD	
Tax Group: 3	Tax Dist:		
BUILDING MARKET VALUE			64,620
TOTAL MARKET OB/XF VALUE			33,160
TOTAL LAND VALUE - MARKET			110,110
TOTAL MARKET VALUE			207,890
SOH/AGL Deduction			106,723
ASSESSED VALUE			101,167
TOTAL EXEMPTION VALUE	HX HB	51,411	
BASE TAXABLE VALUE			49,756
TOTAL JUST VALUE			207,890
NCON VALUE			0
INCOME VALUE			
PREVIOUS YEAR MKT VALUE			191,533
PRMT:1:1: SANDALL			
PERMIT NUM	DESCRIPTION	AMT	ISSUED
000050242	Electrical Servic	0	06/28/2024
000042887	Mobile Home		10/08/2021
19191	M H	125	02/05/2002
15030	M H	125	02/03/1999

SALES DATA						
OFF RECORD Number	DATE	TYPE INST	Q U	V I	RSN CD	SALE PRICE
1160/2028	9/23/2008	WD	Q	I	03	0
GRANTOR: DEAS-BULLARD						
GRANTEE: W SANDALL & APRIL S						
1156/0103	7/31/2008	WD	Q	I	02	100
GRANTOR: DEAS-BULLARD PROPERTI						
GRANTEE: DEAS-BULLARD PROPER						

EXTRA FEATURES					
L N	OB/XF CODE	DESCRIPTION	BLD CAP	L W	UNITS
1	0296	SHED METAL	0	100 8 10	80.00
2	0294	SHED WOOD/	0	100 12 16	192.00
3	9945	Well/Sept	0	100 0 0	1.00
4	0040	BARN, POLE	0	100 0 0	1.00
5	9947	Septic	0	100 0 0	1.00
6	0296	SHED METAL	0	100 0 0	1.00
7	0031	BARN, MT AE	0	100 24 45	600.00
8	0040	BARN, POLE	0	100 40 60	2,400.00

TOTAL OB/XF															
BLD DATE	XF DATE	INC DATE	LGL DATE	LAND DATE	AG DATE										
			05/06/2026			MLU									
L N	OB/XF CODE	DESCRIPTION	BLD CAP	L W	UNITS	UT	Adj R	ADJ UNIT PRICE	ORIG COND	YEAR ON	YEAR ACTUAL	Q	% COND	OB/XF MKT VALUE	NOTES
1	0296	SHED METAL	0	100 8 10	80.00	UT	5.00	5.00	50	1999	1999	3	50	200	
2	0294	SHED WOOD/	0	100 12 16	192.00	UT	10.00	10.00	50	2010	2010	3	50	960	
3	9945	Well/Sept	0	100 0 0	1.00	UT	7,000.00	7,000.00	100			3	100	7,000	
4	0040	BARN, POLE	0	100 0 0	1.00	UT	0.00	0.00	100	2010	2010	3	100	100	
5	9947	Septic	0	100 0 0	1.00	UT	3,000.00	3,000.00	100			3	100	3,000	
6	0296	SHED METAL	0	100 0 0	1.00	UT	900.00	900.00	100	2023	2022		100	900	
7	0031	BARN, MT AE	0	100 24 45	600.00	UT	15.00	15.00	100	2023	2022		100	9,000	
8	0040	BARN, POLE	0	100 40 60	2,400.00	UT	5.00	5.00	100	2025	2024		100	12,000	
TOTALS															

BUILDING NOTES

BUILDING DIMENSIONS
BAS= W66 S16 E66 N16\$.

LAND DESCRIPTION																								
L N	USE CODE	CLS	LAND USE DESCRIPTION	CAP	R D	LOC ZONE	FRONT	DEPTH	TOT LND UTS	UNIT TYPE	D T	DPH FACT	% COND	TOT ADJ	UNIT PRICE	ADJ UNIT PRICE	LAND VALUE	OTHER ADJUSTMENTS AND NOTES	YEAR	DENSITY	DECL	FRZ	YR	CONSRV
1	0200	C	MBL HM	100		A-1	0.00	0.00	10.01	AC		1.00	1.00	1.00	11,000.00	11,000.00	110,110							