

LOT 8 EASTSIDE VILLAGE UNIT 3
756-1552, 762-2126, WD 1319-1754

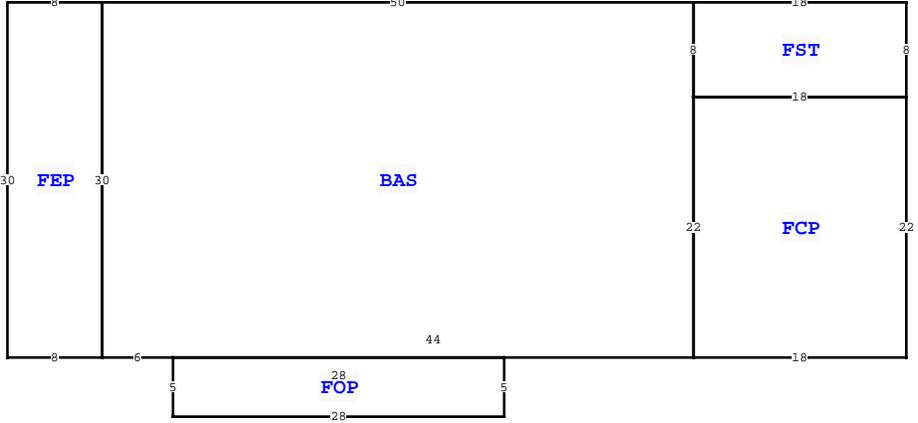
PETROVICH ANTHONY J/PETROVICH SANDRA L
169 SE WILLOW DR
LAKE CITY, FL 32025-1847

2026

03-4S-17-07592-308

BUILDING CHARACTERISTICS		CONSTRUCTION	
ELEMENT	CD		
Exterior Wall	31	VINYL SID	100
Roof Structur	03	GABLE/HIP	100
Roof Cover	03	COMP SHNGL	100
Interior Wall	05	DRYWALL	100
Interior Floor	14	CARPET	80
Interior Floor	13	LAM/VNLPLK	20
Air Condition	03	CENTRAL	100
Heating Type	04	AIR DUCTED	100
Bedrooms		2	100
Bathrooms		2	100
Frame	01	NONE	100
Stories	1.1	1.100	
Architectual Units	05	CONV	100
Condition Adj	03	03	100
Kitchen Adjus	01	01	100
Quality	05	05	
DOR CODE	0100	SINGLE FAMILY	
MAP NUM		MKT AREA	06
NEIGHBORHOOD/LOC	3417.1100	1.10/	

MARKET ADJUSTMENTS											
TYPE	MDL	EFF. AREA	TOT ADJ PTS	EFF. BASE RATE	REPL. COST NEW	AYB	EYB	ECON	FNCT	NORM	% COND
1	SINGLE FAM	100%	2019								
			Heated Area: 1500			HX Base Yr	2019				



AREA TYPE	TOTAL GROSS AREA	PCT OF BASE	YEAR	TOT ADJ AREA	SUBAREA MARKET VALUE
BAS	1,500	100		1,500	126,068
FCP	396	25		99	8,321
FEP	240	80		192	16,137
FOP	140	30		42	3,530
FST	144	55		79	6,640
TOTALS	2,420			1,912	160,694

169 SE WILLOW DR, LAKE CITY

BLD DATE		LGL DATE	
XF DATE		LAND DATE	04/21/2023
INC DATE		AG DATE	MLU

EXTRA FEATURES											
L N	OB/XF CODE	DESCRIPTION	BLD CAP	L	W	UNITS	UT	Adj R	ADJ UNIT PRICE	ORIG COND	YEAR ON
1	0166	CONC,PAVMT	0	100	15	30		1.40	1.40	100	0

YEAR ACTUAL	Q	% COND	OB/XF MKT VALUE	NOTES
0	3	100	630	

LAND DESCRIPTION											
L N	USE CODE	CLS	LAND USE DESCRIPTION	CAP	R D	LOC ZONE	FRONT	DEPTH	TOT LND UTS	UNIT TYPE	D T
1	0100	C	SFR	100		RSF-2	0.00	0.00	1.00	LT	1.00

TOTAL OB/XF											
TOT ADJ	UNIT PRICE	ADJ UNIT PRICE	LAND VALUE	OTHER ADJUSTMENTS AND NOTES	YEAR	DENSITY	DECL	FRZ	YR	CONSRV	
1.10	22,500.00	24,750.00	24,750								

COLUMBIA COUNTY PROPERTY			
VALUATION SUMMARY			PAGE 1 of 1
VALUATION BY			STANDARD
Tax Group: 2	Tax Dist:		
BUILDING MARKET VALUE			160,694
TOTAL MARKET OB/XF VALUE			630
TOTAL LAND VALUE - MARKET			24,750
TOTAL MARKET VALUE			186,074
SOH/AGL Deduction			74,017
ASSESSED VALUE			112,057
TOTAL EXEMPTION VALUE	HX HB	51,411	
BASE TAXABLE VALUE			60,646
TOTAL JUST VALUE			186,074
NCON VALUE			0
INCOME VALUE			
PREVIOUS YEAR MKT VALUE			186,074

PERMIT NUM	DESCRIPTION	AMT	ISSUED

SALES DATA						
OFF RECORD Number	DATE	TYPE INST	Q U	V I	RSN CD	SALE PRICE
1505/1956	12/20/2023	LE	U	I	14	100
GRANTOR: PETROVICH ANTHONY J						
GRANTEE: PETROVICH ANTHONY J						
1362/2475	6/14/2018	WD	Q	I	01	112,000
GRANTOR: JOSEPH J JR & SUSAN T						
GRANTEE: ANTHONY J & SANDRA						

BUILDING NOTES											

BUILDING DIMENSIONS											
BAS= W50 FEP= W8 S30 E8 N30\$ S30 E6 FOP= S5 E28 N5 W28\$E44											
FCP= E18 N22 W18 S22\$ N22 FST= E18 N8 W18 S8 \$ N8\$.											