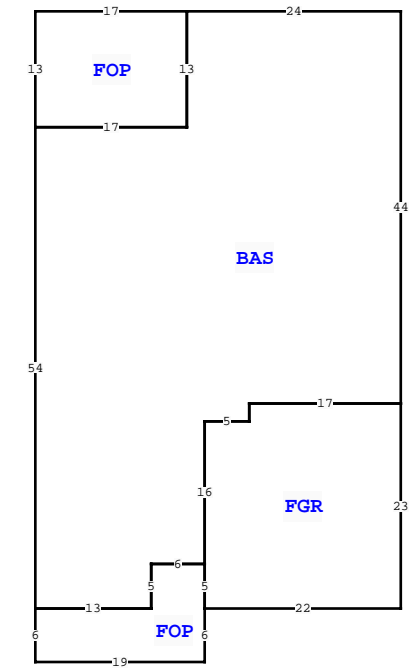


BUILDING CHARACTERISTICS		
ELEMENT	CD	CONSTRUCTION
Exterior Wall	32	HARDIE BRD 100
Exterior Wall	00	N/A 0
Roof Structure	08	IRREGULAR 100
Roof Cover	03	COMP SHNGL 100
Interior Wall	05	DRYWALL 100
Interior Floor	13	LAM/VNLPLK 100
Interior Floor	00	N/A 0
Air Condition	03	CENTRAL 100
Heating Type	04	AIR DUCTED 100
Bedrooms	4	100
Bathrooms	2	100
Frame	02	WOOD FRAME 100
Stories	1.	1. 100
Units	0	100
Condition Adj	03	03 100
Kitchen Adjus	01	01 100
Quality	07	07
DOR CODE	0100	SINGLE FAMILY

MARKET ADJUSTMENTS												
TYPE	MDL	EFF. AREA	TOT ADJ PTS	EFF. BASE RATE	REPL. COST NEW	AYB	EYB	ECON	FNCT	NORM	% COND	
1	SINGLE FAM	100%	- 2022									
				Heated Area: 2000				HX Base Yr 2022				



MAP NUM	MKT AREA	06			
NEIGHBORHOOD/LOC	3416.0400	1.10/			
AREA TYPE	TOTAL GROSS AREA	PCT OF BASE	YEAR	TOT ADJ AREA	SUBAREA MARKET VALUE
BAS	2,000	100		2,000	293,664
FGR	496	55		273	40,085
FOP	144	30		43	6,314
FOP	221	30		66	9,691
TOTALS	2,861			2,382	349,754

180 SW MAPLE PL, LAKE CITY

BLD DATE		LGL DATE	
XF DATE		LAND DATE	04/03/2025
INC DATE		AG DATE	MLU

COLUMBIA COUNTY PROPERTY			PAGE 1 of 1	2
VALUATION SUMMARY				
VALUATION BY			STANDARD	
Tax Group: 2	Tax Dist:			
BUILDING MARKET VALUE			349,754	
TOTAL MARKET OB/XF VALUE			3,720	
TOTAL LAND VALUE - MARKET			38,500	
TOTAL MARKET VALUE			391,974	
SOH/AGL Deduction			69,128	
ASSESSED VALUE			322,846	
TOTAL EXEMPTION VALUE	HX HB		51,411	
BASE TAXABLE VALUE			271,435	
TOTAL JUST VALUE			391,974	
NCON VALUE			0	
INCOME VALUE				
PREVIOUS YEAR MKT VALUE			395,617	

PERMIT NUM	DESCRIPTION	AMT	ISSUED
39842	SFR	0	05/29/2020

SALES DATA						
OFF RECORD Number	DATE	TYPE INST	Q / U	V / I	RSN CD	SALE PRICE
1431/2692	3/05/2021	WD Q	Q	I	01	319,200
GRANTOR: THE PRESERVES AT LAUR						
GRANTEE: SUMMERS ASHLEY N						
1407/0863	3/05/2020	WD U	V	V	11	100
GRANTOR: CORNERSTONE HOMES OF						
GRANTEE: THE PRESERVES AT LA						

BUILDING NOTES	

BUILDING DIMENSIONS	
BAS=[ORIG=60,20] S54 E13 N5 E6 N16 E5 N2 E17 N44 W24 S13 W17 \$	
FOP=[ORIG=60,7] S13 E17 N13 W17 \$	
FOP=[ORIG=60,74] S6 E19 N6 N5 W6 S5 W13 \$	
FGR=[ORIG=79,53] S16 S5 E22 N23 W17 S2 W5 \$	

EXTRA FEATURES																
L N	OB/XF CODE	DESCRIPTION	BLD CAP	L	W	UNITS	UT	Adj R	ADJ UNIT PRICE	ORIG COND	YEAR ON	YEAR ACTUAL	Q	% COND	OB/XF MKT VALUE	NOTES
1	0166	CONC,PAVMT	0	100	0	0			640.00	UT	3.00				1,920	
2	0169	FENCE/WOOD	0	100	0	0			1.00	UT	1,800.00				1,800	

LAND DESCRIPTION													TOTAL OB/XF											
L N	USE CODE	CLS	LAND USE DESCRIPTION	CAP	R D	LOC ZONE	FRONT	DEPTH	TOT LND UTS	UNIT TYPE	D T	DPH FACT	% COND	TOT ADJ	UNIT PRICE	ADJ UNIT PRICE	LAND VALUE	OTHER ADJUSTMENTS AND NOTES	YEAR	DENSITY	DECL	FRZ	YR	CONSRV
1	0100	C	SFR	100		PRD	0.00	0.00	1.00	LT		1.00	1.00	1.10	35,000.00	38,500.00	38,500							